



**ROANOKE CITY
PUBLIC SCHOOLS**

Strong Students. Strong Schools. Strong City.

Purchasing Department
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March 3, 2023

**IFB 3105
HURT PARK ELEMENTARY SCHOOL SECURITY UPGRADES**

Addendum #1

This addendum provides answers to questions received from contractors as of February 26, 2023, and includes revised plan sheets A041, A101, & E101 (attached).

Questions & Answers:

Q1- Can we please confirm the manufacturers for the hollow metal frames, doors, and hardware? The five manufacturers listed are really only two. VT purchased Eggers and they're all merged now as one company – VT Industries. Algoma, Graham, and Marshfield no longer exist – they're all part of one company, Masonite Architectural.

A1 - Updated Manufacturers list is as follows:

- Masonite Architectural
- VT Industries
- Chappell Door Company
- Lambton Doors
- Lynden Door, Inc

Q2 - Lead times on wood doors are currently 14 to 16 weeks, can we be sure that the contract will be in place quickly to allow for submittals to be completed and get doors on order? Lead times on hardware are currently about 6 weeks once ordered.

A2 - The Contract will be in place as soon as possible to allow for the GC to begin procuring materials. RCPS understands that lead times are of concern and the team is willing to work with the GC if other options are available to reduce lead time. Note that if lead times

become an issue, a temporary door will need to be provided at door 105 (new door into the clinic) until the permanent door arrives.

Q3 - Can we confirm that the windows on the exterior of the building in the vestibule area will not require the security film to be installed?

A3 - Security film at the existing exterior storefront is only to be provided at Admin 102. See keynote A5 on 1/A101.

Q4 - Can we confirm that the new door to the Assistant Principal Office has no security film installed?

A4 - Please provide security film for the narrow lite in the door, see updated keynote G2 & door type elevation NT on sheet A101. Additionally, film is to be required at the existing hollow metal window. See keynote A7 on sheet A101.

GENERAL PROJECT INFORMATION

PROJECT TYPE: RENOVATIONS TO
 PROJECT NAME: HURT PARK ELEMENTARY SCHOOL SECURED VESTIBULE
 PROJECT ADDRESS: 1525 SALEM AVENUE SW ROANOKE, VA 24016
 SITE INFORMATION
 TAX MAP NO.: 1210320
 ZONING: INPUD
 FLOOD ZONE: N/A
 CODE JURISDICTION: CITY OF ROANOKE
 OWNER INFORMATION
 OWNER/AUTHORIZED AGENT: ROANOKE CITY PUBLIC SCHOOLS / JEFFERY SHAWVER
 PHONE: (540) 853-0306
 JSHAWVER@RCPS.INFO
 OWNER'S ADDRESS: PO BOX 13145 ROANOKE, VA 24031
 LEAD DESIGN PROFESSIONALS:

DISCIPLINE	FIRM	NAME	LICENSE	TELEPHONE
ARCHITECTURAL	SPECTRUM DESIGN	DAVID VENABLE	8832	540.342.6001
ELECTRICAL	SPECTRUM DESIGN	JEFF WIGGINGTON	32781	540.342.6001

PROJECT CODE SUMMARY

PROJECT DESCRIPTION
 THE PROJECT IS GENERALLY DESCRIBED AS A RENOVATION TO THE EXISTING LOBBY SPACE IN ORDER TO CREATE A SAFE & SECURE VESTIBULE AREA.

APPLICABLE BUILDING CODES
 2018 VIRGINIA EXISTING BUILDING CODE (VEBC)
 2018 VIRGINIA CONSTRUCTION CODE (VCC)
 2017 NATIONAL ELECTRICAL CODE (NFPA 70)
 2018 VIRGINIA MECHANICAL CODE
 2018 VIRGINIA PLUMBING CODE
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 9-15-10 (BCOM)
 2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES (ANSI 117.1)

BUILDING INFORMATION
 ORIGINAL BUILDING CONSTRUCTED: 1961
 EXISTING USES AND OCCUPANCIES: E - EDUCATIONAL (PRIMARY); A - ASSEMBLY; B - BUSINESS
 NEW USES AND OCCUPANCIES: NO CHANGE
 NUMBER OF STORIES: 1 STORY
 TOTAL BUILDING AREA: 43,025 SF
 ACTUAL WORK AREA: 550 SF
 CONSTRUCTION TYPE: ASSUMED 2B, UNPROTECTED, NONCOMBUSTIBLE
 AUTOMATIC SPRINKLER SYSTEM: NOT PRESENT
 FIRE ALARM AND DETECTION SYSTEM: PRESENT

2018 VIRGINIA EXISTING BUILDING CODE

CHAPTER 3 (VEBC): GENERAL PROVISIONS AND SPECIAL DETAILED REQUIREMENTS

SECTION 301.3.2 NEW WORK TO BE DONE UNDER WORK AREA COMPLIANCE METHOD.
 SECTION 302.1 NEW AND REPLACEMENT MATERIALS PERMITTED BY THE CODE FOR NEW CONSTRUCTION SHALL BE USED. LIKE OR REPLACEMENT MATERIAL IN COMPLIANCE WITH REQUIREMENTS OR APPROVALS IN EFFECT AT THE TIME OF THEIR ERECTION OR INSTALLATION SHALL BE PERMITTED UNLESS THE BUILDING OFFICIAL DEEMS THEM UNSAFE AND PROVIDE NO HAZARD TO LIFE, HEALTH OR PROPERTY.

CHAPTER 4 (VEBC): ACCESSIBILITY

SECTION 404 ALTERATIONS - THE RENOVATIONS IN THIS WORK AREA DO NOT REDUCE OR HAVE THE EFFECT OF REDUCING ACCESSIBILITY OF THE FACILITY OR PORTION OF THE FACILITY.

CHAPTER 6 (VEBC): ALTERATIONS

SECTION 602 LEVEL 1 ALTERATIONS
 SECTION 602.2 ALL ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE EXISTING LEVEL OF FIRE PROTECTION AND MEANS OF EGRESS.
 SECTION 602.3.1 ALL NEWLY INSTALLED INTERIOR FINISH AND TRIM MATERIALS SHALL COMPLY WITH CHAPTER 8 OF THE VCC. SEE FINISH SCHEDULE, MATERIAL FINISH NOTES.
 SECTION 603 LEVEL 2 ALTERATIONS
 SECTION 603.3 ALL LEVEL 2 ALTERATIONS SHALL COMPLY WITH LEVEL 1 ALTERATION REQUIREMENTS.
 SECTION 603.4.3 ALL NEW INTERIOR FINISH MATERIALS ARE DESIGNED TO COMPLY WITH THE VCC.
 SECTION 603.5 MECHANICAL - WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH THE 2018 VIRGINIA CONSTRUCTION CODE
 SECTION 603.6 PLUMBING - THE OCCUPANT LOAD IS NOT INCREASED MORE THAN 20% EXISTING FIXTURE COUNT TO REMAIN UNCHANGED.

CHAPTER 7 (VEBC): CHANGE OF OCCUPANCY

NO CHANGE OF OCCUPANCY TO OCCUR.

CHAPTER 12 (VEBC): CONSTRUCTION SAFEGUARDS

CONTRACTOR SHALL COMPLY WITH THE 2018 VIRGINIA CONSTRUCTION CODE

NOTE: CODE ANALYSIS IS LIMITED TO THE WORK AREAS DESIGNATED.

DEMOLITION OF HAZARDOUS MATERIALS

ASBESTOS AND LEAD DISCLOSURE STATEMENTS
 AN ASBESTOS INSPECTION HAS BEEN PERFORMED. CONTRACTOR TO OBTAIN INSPECTION REPORT FROM OWNER. CONTRACTOR SHALL ASSUME THERE IS NO ASBESTOS CONTAINING MATERIALS WITHIN THE AREA OF WORK. SHOULD THE CONTRACTOR DISCOVER ANY QUESTIONABLE MATERIAL DURING DEMOLITION/RENOVATION, CONTRACTOR SHALL STOP WORK, AND INFORM OWNER TO OBTAIN CLEARANCE PRIOR TO CONTINUATION OF WORK.

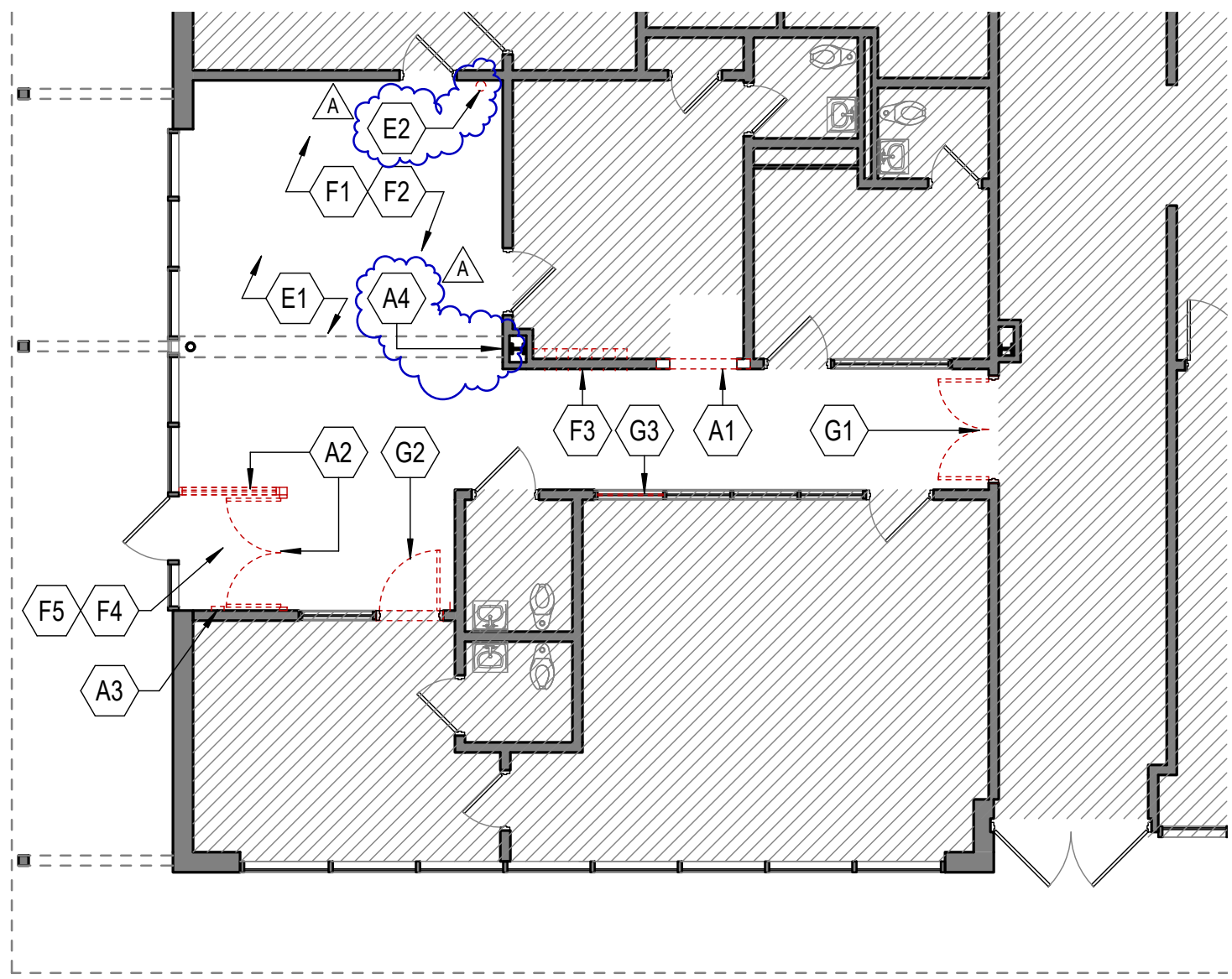
LEAD DISCLOSURE STATEMENT
 AN INSPECTION TO IDENTIFY LEAD CONTAINING OR COATED BUILDING COMPONENTS HAS BEEN PERFORMED. INSPECTION REPORT IS AVAILABLE FROM OWNER. THIS REPORT IS AVAILABLE FOR THE CONTRACTOR'S USE AND MAY NOT BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL VIRGINIA OCCUPATIONAL SAFETY AND HEALTH (VOSH) REGULATIONS AS THEY PERTAIN TO EMPLOYEE EXPOSURES TO LEAD.

DEMOLITION GENERAL NOTES

- GN-1: REMOVE WALLS AND OTHER ELEMENTS SHOWN DASHED IN THEIR ENTIRETY.
- GN-2: CONTRACTOR SHALL REMOVE / DISPOSE OF ANY AND ALL DEMOLITION DEBRIS PROPERLY AND IN ITS ENTIRETY TAKING CARE TO KEEP A CLEAN AND SAFE WORKING ENVIRONMENT AT ALL TIMES.
- GN-3: CONTRACTOR TO ENSURE WORK IS DONE IN A COMPETENT / SAFE MANNER TAKING CARE NOT TO DAMAGE OR DISTURB SURROUNDING SURFACES MORE THAN REQUIRED TO COMPLETE DEMOLITION.
- GN-4: CONTRACTOR SHALL REMOVE EXISTING TRIM AS REQUIRED TO COMPLETE WORK IN DESIGNATED AREAS. STORE IN A SAFE, SECURE, DRY AREA UNTIL ITEMS ARE TO BE REINSTALLED.
- GN-5: CONTRACTOR SHALL REPAIR / PREP / PRIME AND PAINT AREAS AND ADJACENT SURFACES DAMAGED OR DISTURBED BY CONSTRUCTION. MATCH ADJACENT WALL COLOR, FINISH AND TEXTURE.
- GN-6: CONTRACTOR TO TEMPORARILY ENCLOSE / SECURE AREAS IN EXTERIOR WALLS LEFT EXPOSED DUE TO DEMOLITION / CONSTRUCTION ENCLOSURES) SHALL BE CONSTRUCTED IN A MANNER WHICH PROTECTS THE EXISTING BUILDING / STRUCTURE / FINISHES ETC. FROM EXPOSURE TO THE ELEMENTS AND PROVIDES A SECURE BARRIER PREVENTING ENTRY OR THEFT DURING CONSTRUCTION.

1 DEMOLITION KEYNOTES

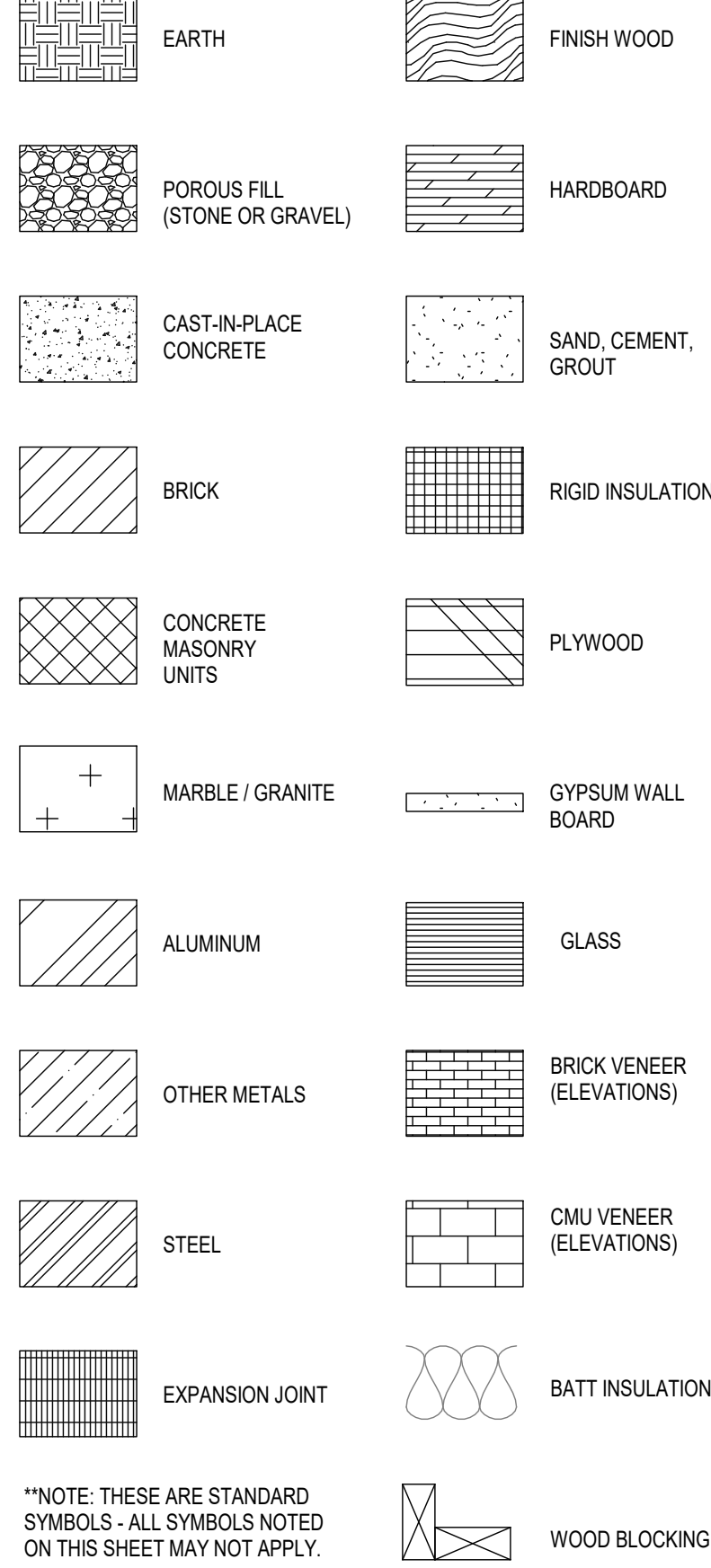
- A1: REMOVE PORTION OF EXISTING CMU WALL TO ALLOW FOR THE INSTALLATION OF NEW DOOR AND FRAME. CUT ALONG MORTAR JOINTS AT HALF & FULL BLOCK INCREMENTS.
- A2: REMOVE EXISTING STOREFRONT SYSTEM INCLUDING INTERIOR VESTIBULE DOOR AND ALL ASSOCIATED HARDWARE.
- A3: REMOVE EXISTING A-PHONE. SALVAGE & RELOCATE TO EXTERIOR - SEE PLAN FOR NEW LOCATION.
- A4: REMOVE & RELOCATE EXISTING PLAQUE. PATCH & REPAIR WALL AS REQUIRED. COORDINATE NEW LOCATION WITH OWNER.
- E1: REMOVE EXISTING LIGHTS, EXIT LIGHTS & SWITCHES IN AREA OF WORK. PROTECT EXISTING CIRCUITRY - JUNCTION BOXES, CONDUIT AND WIRING ARE TO BE REUSED IF SUITABLE TO CIRCUIT REQUIREMENTS. SEE ELECTRICAL DEMOLITION DRAWINGS.
- E2: RELOCATE EXISTING SECURITY CAMERA. COORDINATE FINAL LOCATION WITH OWNER.
- F1: REMOVE EXISTING GYPSUM AND ASSOCIATED ADHESIVE, GLUE, ETC. TO CLEAN AND BARE CONCRETE FLOOR OR SUBFLOOR. COORDINATE FLOORING DEMOLITION WITH NEW LVT LOCATIONS AT NEW TRANSITION STRIP - SEE FLOOR PLAN ON SHEET A101.
- F2: REMOVE EXISTING VINYL WALL BASE.
- F3: REMOVE EXISTING MAILBOXES. SALVAGE AND RETURN TO OWNER. LINTEL ABOVE MAILBOXES IS TO REMAIN.
- F4: REMOVE EXISTING TILE AND ASSOCIATED ADHESIVE, GLUE, ETC. TO CLEAN AND BARE CONCRETE FLOOR OR SUBFLOOR.
- F5: REMOVE EXISTING TILE WALL BASE.
- G1: REMOVE EXISTING DOOR AND ALL ASSOCIATED HARDWARE. EXISTING FRAME IS TO REMAIN.
- G2: REMOVE EXISTING DOOR (HM FRAME IS TO REMAIN).
- G3: REMOVE PORTION OF HM GLAZING (THIS SECTION ONLY).



1 DEMOLITION PLAN

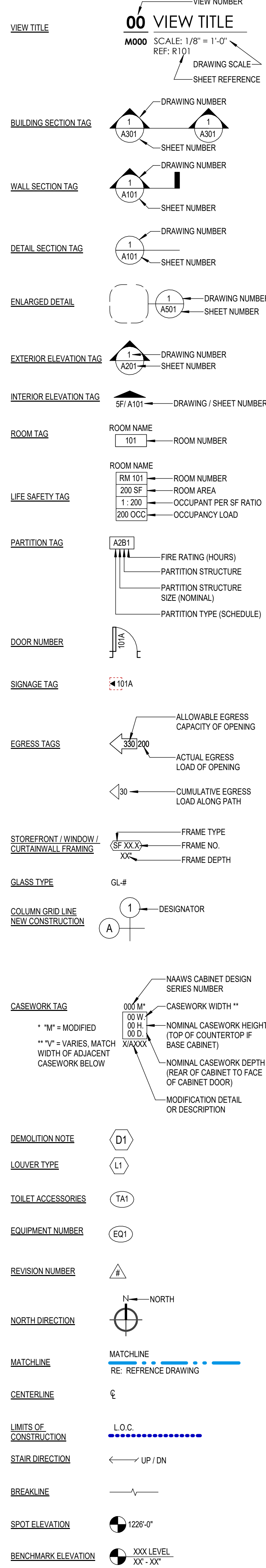
A041 SCALE: 1/8" = 1'-0"
 REF: A101

MATERIALS LEGEND



**NOTE: THESE ARE STANDARD SYMBOLS - ALL SYMBOLS NOTED ON THIS SHEET MAY NOT APPLY.

SYMBOLS LEGEND



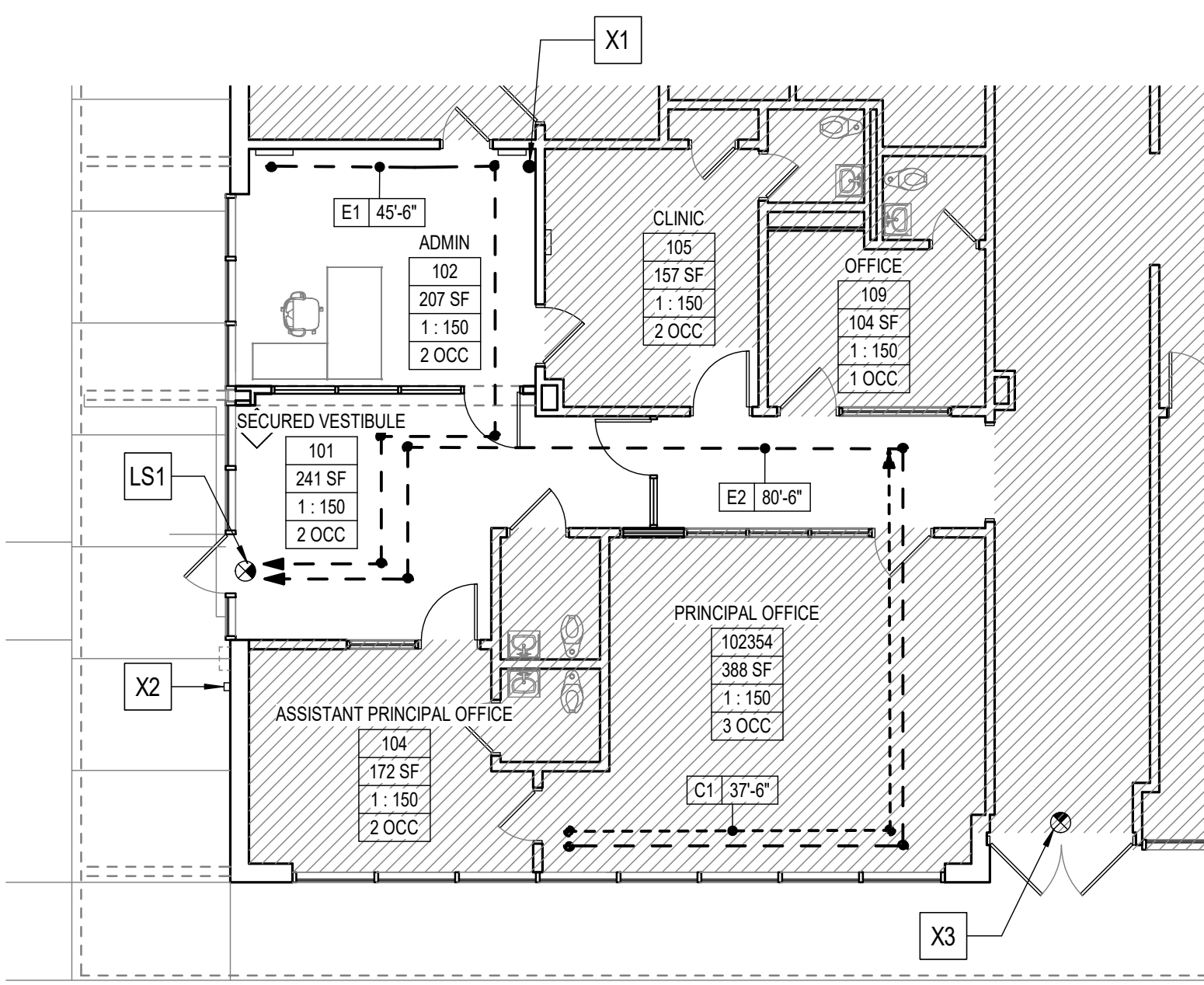
KEYNOTE INDICATOR

- A - ARCHITECTURAL / GENERAL
- C - CIVIL
- E - ELECTRICAL
- F - FINISHES / FURNITURE
- G - GLAZING / DOORS
- LS - LIFE SAFETY
- M - MECHANICAL
- P - PLUMBING
- R - ROOF
- S - STRUCTURAL
- W - WALLS
- X - EXISTING

NOTES:
 1. INDICATOR LETTER IS USED FOR KEYNOTE ORGANIZATION ONLY AND IS NOT INTENDED TO ASSIGN OR EXCLUDE WORK AND/OR COORDINATION TO OR FROM SPECIFIC TRADES OR DISCIPLINES.
 2. KEYNOTES ARE TYPICALLY ASSOCIATED WITH A DRAWING SERIES. KEYNOTE NUMBERS MAY VARY FROM SERIES TO SERIES. SOME KEYNOTES MAY APPEAR IN A SHEET'S LEGEND, BUT NOT APPEAR IN A DRAWING ON THAT SPECIFIC SHEET.

ARCHITECTURAL ABBREVIATIONS

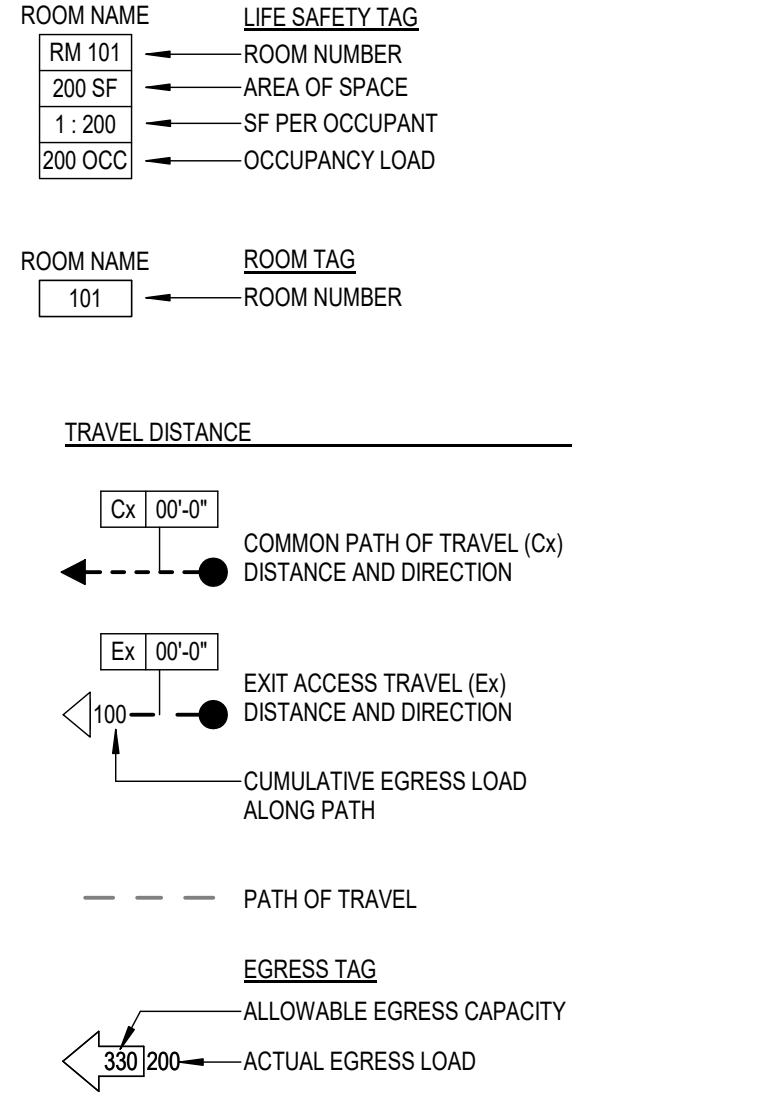
AB ANCHOR BOLT	MACH MACHINE
ACM ALUMINUM COMPOSITE MATERIAL	MAINT MAINTENANCE MATERIAL
ACP ACOUSTICAL CEILING PANEL	MECH MECHANICAL
AFF ABOVE FINISH FLOOR	MO MASONRY OPENING
ALT ALTERNATE	MTL METAL
ALUM ALUMINUM	NA NOT APPLICABLE
ARCH ARCHITECTURAL	NIC NOT IN CONTRACT
	NTS NOT TO SCALE
BD BOARD	OC ON CENTER
BLDG BUILDING	OD OUTSIDE DIAMETER
BLKG BLOCKING	OH OPPOSITE HAND
BOT BOTTOM	PLAM PLASTIC LAMINATE
BRG BEARING	PLUMB PLUMBING
CI CONTINUOUS INSULATION	PNT PAINTED
CJ CONTROL JOINT	PRSRV PRESERVATIVE TREATED
CLG CEILING	R RADIUS
CMU CONCRETE MASONRY UNIT	RCP REFLECTED CEILING PLAN
CONF CONFERENCE	RE REFER
CONT CONTINUOUS	RECP RECEPTION
CONTR CONTRACTOR CASEWORK	REIN REINFORCEMENT
CONTR CONTRACTOR CASEWORK	REV REVERSED
DIAM DIAMETER	RM ROOM
DS DOWNSPOUT	RO ROUGH OPENING
EA EACH	SCHED SCHEDULE
EB EXPANSION BOLT	SHIT SHEET
EF EACH FACE	SPEC SPECIFICATION
EJ EXPANSION JOINT	SS STAINLESS STEEL
EL ELEVATION	STL STEEL
ELEC ELECTRICAL	STOR STORAGE
ELEV ELEVATION	STRUCT STRUCTURAL
ELEV ELEVATION	THRESH THRESHOLD
EQ EQUAL	TLT TOILET
EQUIP EQUIPMENT	TOJ TOP OF JOIST
EW EACH WAY	TOS TOP OF STEEL
EXIST EXISTING	TOW TOP OF WALL
EXT EXTERIOR	TYP TYPICAL
FLR FLOOR	UNO UNLESS NOTED OTHERWISE
FRT FIRE RETARDANT TREATED	URINAL URINAL
FSM FLEXIBLE SHEET MEMBRANE ROOFING	VEST VESTIBULE
FTG FOOTING	W WITH
GALV GALVANIZED	WO WITHOUT
GN GENERAL NOTE	WC WATER CLOSET
GYB GYPSUM WALL BOARD	WD WOOD
GYP GYPSUM WALL BOARD	WHL CHR WHEELCHAIR
	+ DEGREE
	± PLUS / MINUS
	∅ DIAMETER
	≤ LESS THAN OR EQUAL TO
	≥ GREATER THAN OR EQUAL TO
	• BULLET POINT
	UNO UNLESS NOTED OTHERWISE
	URINAL URINAL
	VEST VESTIBULE
	W WITH
	WO WITHOUT
	WC WATER CLOSET
	WD WOOD
	WHL CHR WHEELCHAIR
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	WO WITHOUT
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	WHL CHR WHEELCHAIR
	+ DEGREE
	± PLUS / MINUS
	∅ DIAMETER
	≤ LESS THAN OR EQUAL TO
	≥ GREATER THAN OR EQUAL TO
	• BULLET POINT



2 LIFE SAFETY PLAN

A041 SCALE: 1/8" = 1'-0"
 REF: A101

LIFE SAFETY LEGEND



XX LIFE SAFETY PLAN KEYNOTES

- LS1: PROVIDE NEW EXIT SIGNS.
- X1: EXISTING FIRE EXTINGUISHER LOCATION.
- X2: NEW LOCATION FOR EXISTING KNOX BOX. KNOX BOX IS TO BE SHIFTED TO ACCOMMODATE A-PHONE LOCATION.
- X3: EXISTING EXIT LIGHT TO REMAIN.

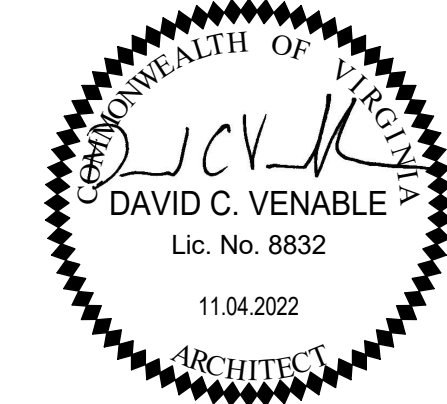
SPECTRUM DESIGN
 architects | engineers



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 SPECTRUMPC.COM

**RENOVATIONS TO
 HURT PARK
 ELEMENTARY SCHOOL
 SECURED VESTIBULE
 ROANOKE CITY PUBLIC SCHOOLS**

VA DOE NO.: #124-42-00-102
 SPECTRUM DESIGN PROJECT NO.: 22082



PROJ. MGR.: DCV
 CHECKED BY: DCV
 DRAWN BY: TLW

SHEET ISSUE DATE: 11.04.2022

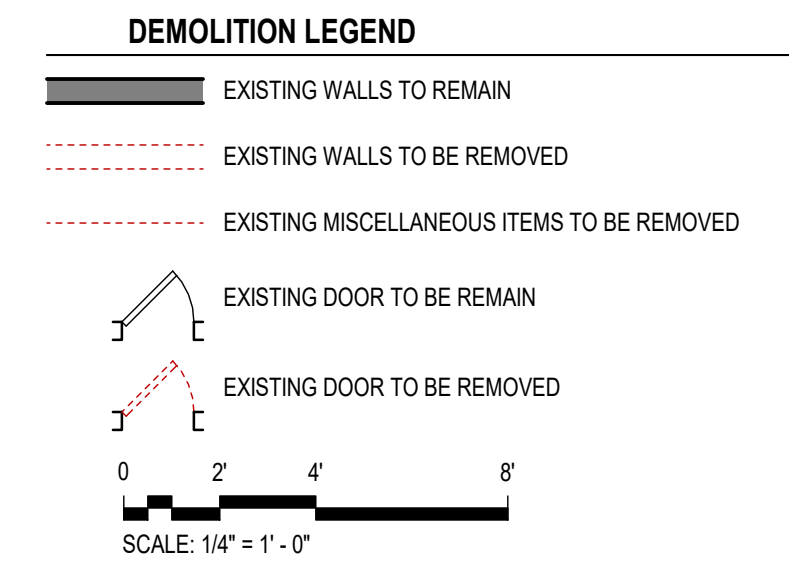
CONSTRUCTION DOCUMENTS

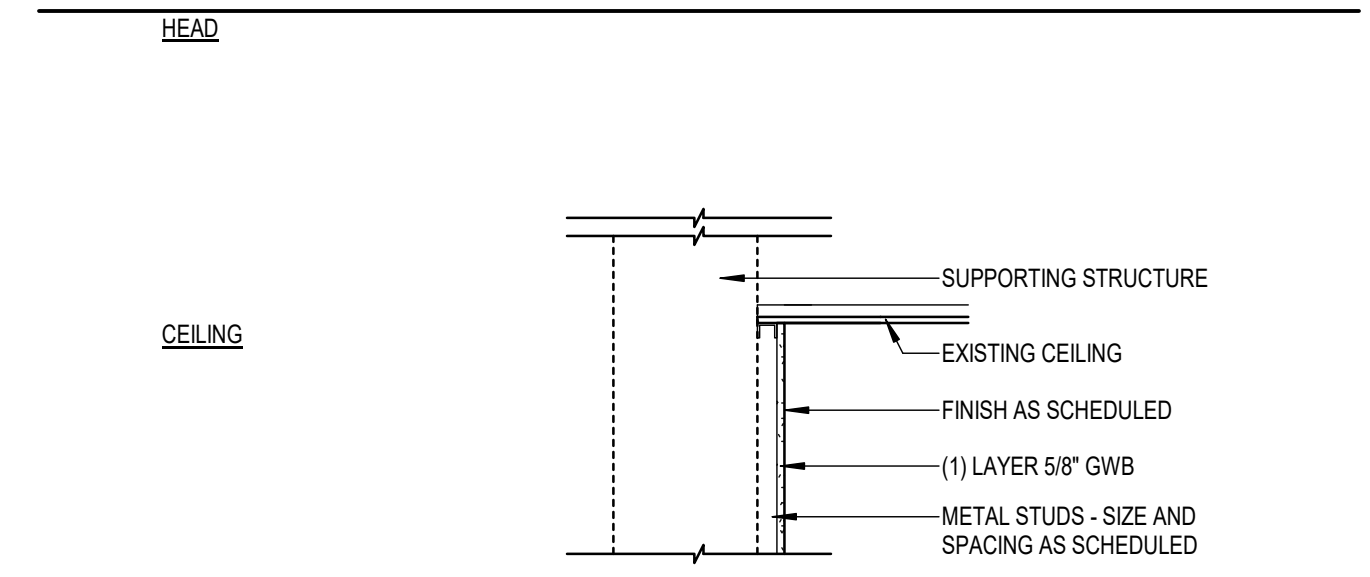
SHEET REVISIONS:
 REV A 03.03.2023 ADDENDUM #1



**GENERAL ARCH INFO,
 CODE SUMMARY, LIFE
 SAFETY PLAN, &
 DEMOLITION PLAN**

SHEET NUMBER:
A041





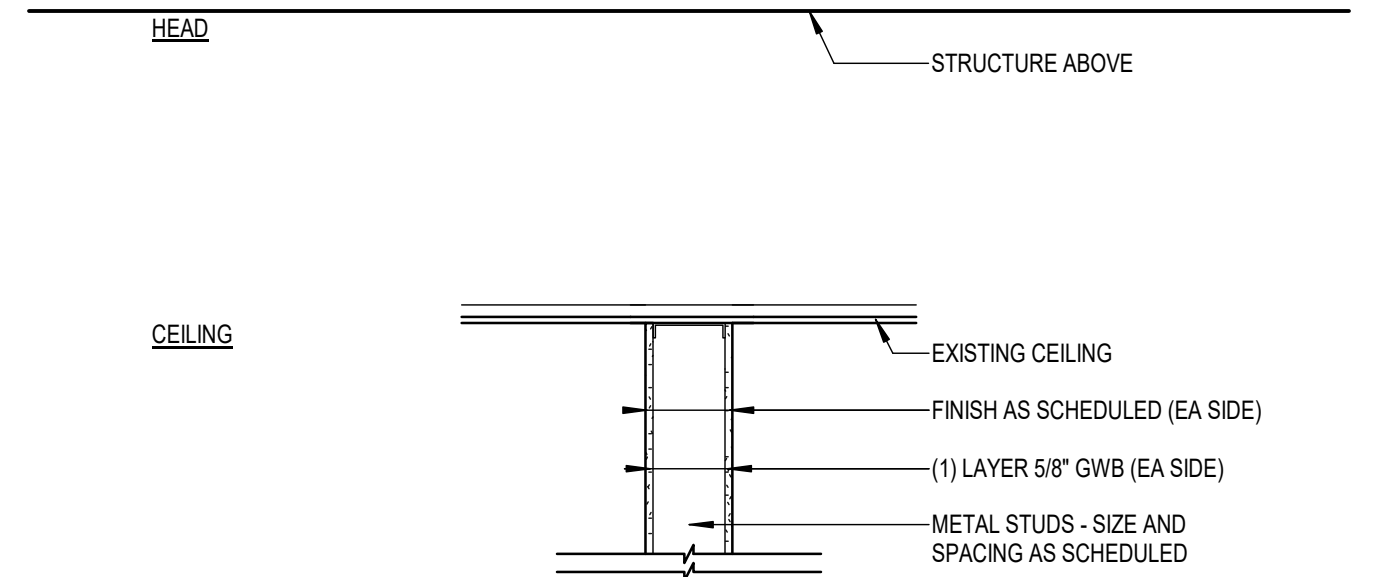
FxB TERMINATION DETAIL

PLAN

SLAB

PARTITION TYPE

ASSEMBLY TAG	TOTAL WIDTH	STRUCT. WIDTH	MIN. GAUGE	MAX. SPACING	LIMITING HEIGHT	UL NO.	FIRE RATING	TERMINATION DETAIL	KEYNOTES
F3B	3' 1 1/8"	2' 1 1/2"	20	16"	UP TO EXISTING CEILING	-	-	FxB	-



GxB TERMINATION DETAIL

PLAN

SLAB

PARTITION TYPE

ASSEMBLY TAG	TOTAL WIDTH	STRUCT. WIDTH	MIN. GAUGE	MAX. SPACING	LIMITING HEIGHT	UL NO.	FIRE RATING	TERMINATION DETAIL	KEYNOTES
G4B	5' 1/8"	3' 5/8"	20	16"	UP TO EXISTING CEILING	-	-	GxB	PROVIDE 1/4" KEVLAR UNDER SF SYSTEM

DOOR AND FRAME SCHEDULE - ALUMINUM

OPENING NO./DOOR MARK	ELEV	PAIR	DOOR MATL	WIDTH	HEIGHT	FIRE RATING	FRAME ELEV	FRAME MATL	HW SET	CR	AD	KEYNOTES
102	SF	-	ALUM	3'-0"	6'-10"	-	SF	AL	SEE SPECS	-	-	-
103.1	SF	-	ALUM	3'-0"	6'-10"	-	SF	AL	SEE SPECS	-	-	-

DOOR SCHEDULE INDICATORS

DOOR TYPES:
 F - FLUSH
 SF - STOREFRONT
 NT - NARROW LITE

MATERIAL FINISH LEGEND:
 AL - ALUMINUM (SF, CW)
 HM - HOLLOW METAL
 WD - WOOD SOLID CORE

ADDITIONAL ABBREVIATIONS:
 AO - AUTO OPERATOR
 CR - CARD READER

SF - STOREFRONT

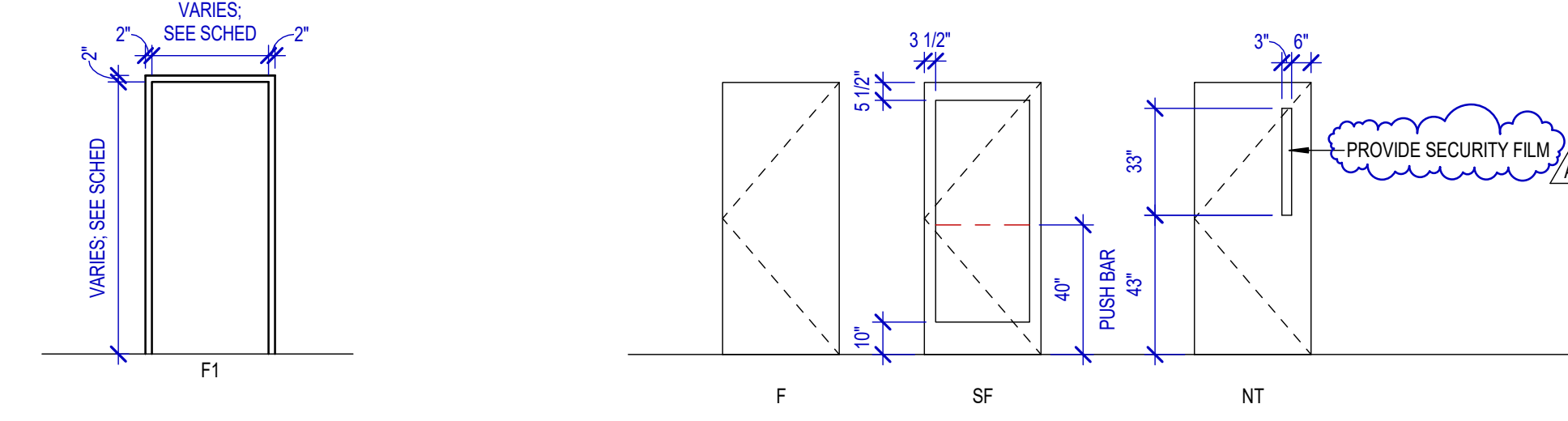
DOOR SCHEDULE & SIGNAGE GENERAL NOTES

GN-1: ALL HOLLOW METAL DOOR FRAMES IN MASONRY OR CONCRETE WALLS SHALL BE GROUTED SOLID BITUMINOUS COATING SHALL BE APPLIED TO BACK SIDE OF FRAMES BEFORE GROUTING.

GN-2: SEE SPECIFICATIONS FOR DOOR HARDWARE SETS. DOOR LOCKING HARDWARE SHALL BE "KEYED" TO OWNER'S STANDARD. CONTRACTOR TO COORDINATE WITH OWNER AND DOOR LOCKING HARDWARE MANUFACTURER.

DOOR AND FRAME SCHEDULE

OPENING NO./DOOR MARK	ELEV	PAIR	DOOR MATL	WIDTH	HEIGHT	FIRE RATING	FRAME ELEV	FRAME MATL	HW SET	CR	AD	KEYNOTES
104	NT	-	WD	3'-0"	7'-0"	-	EXIST	EXIST	SEE SPECS	-	-	DOOR IN EXISTING FRAME. PROVIDE DOOR CLOSER.
105	F	-	WD	3'-0"	6'-10"	-	F1	HM	SEE SPECS	-	-	-
X105	EXIST	-	EXIST	3'-0"	6'-10"	-	EXIST	HM	SEE SPECS	-	-	NEW HARDWARE ONLY.
X107	EXIST	-	EXIST	3'-0"	6'-10"	-	EXIST	HM	SEE SPECS	-	-	NEW HARDWARE ONLY.



FRAME ELEVATION TYPES SCALE: 1/4" = 1'-0"

DOOR ELEVATION TYPES SCALE: 1/4" = 1'-0"

FRAMED OPENINGS GENERAL NOTES

GN-1: CONTRACTOR TO PROVIDE STOREFRONT MANUFACTURER'S REFORMED SUB-SILL BASE FLASHING, AND DAMS, TYPICAL.

GN-2: DIMENSIONS SHOWN ARE NOMINAL AND PROVIDED FOR DESIGN INTENT. CONTRACTOR TO FIELD VERIFY ROUGH OPENINGS, AND ACCOUNT FOR JOINTS, SHIMS, SEALANT, ETC.

GN-3: JOINTS SHOWN IN ELEVATION BETWEEN STOREFRONT MEMBERS ARE NOT INTENDED TO SHOW ACTUAL JOINT LOCATIONS.

GN-4: DEPTH OF STOREFRONT FRAMES TO BE 4 1/2" U.N.O.

GN-5: ALL GLAZING IN INTERIOR FRAMES SHALL BE TYPE GL-1, U.N.O.

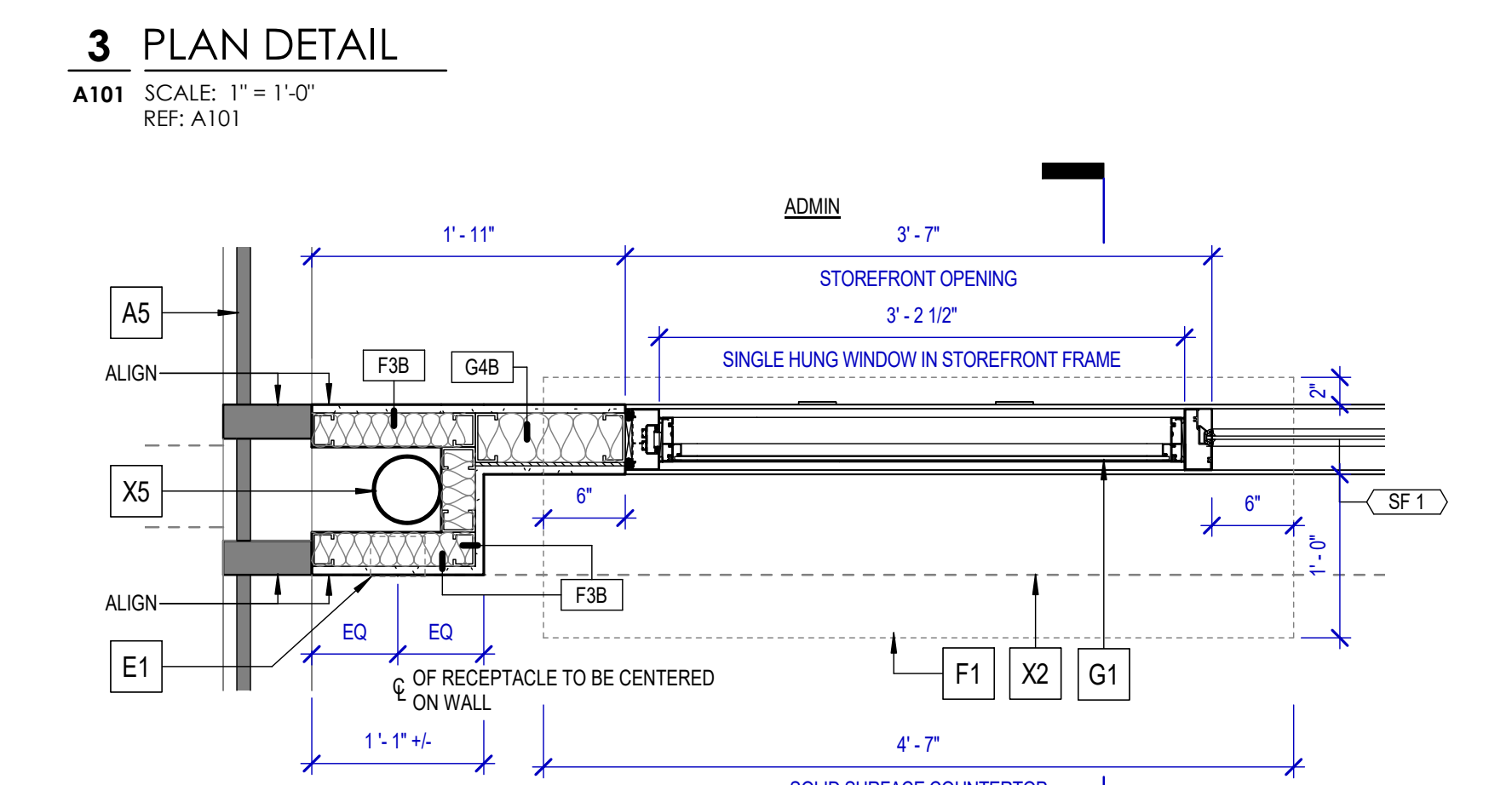
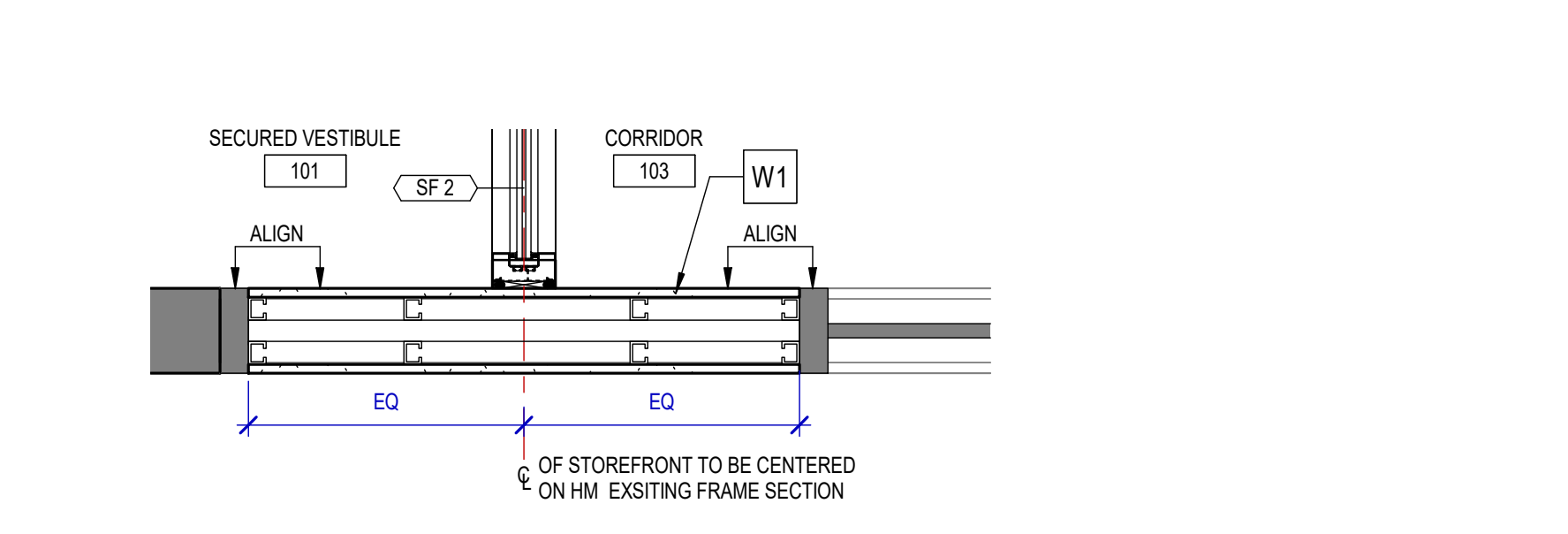
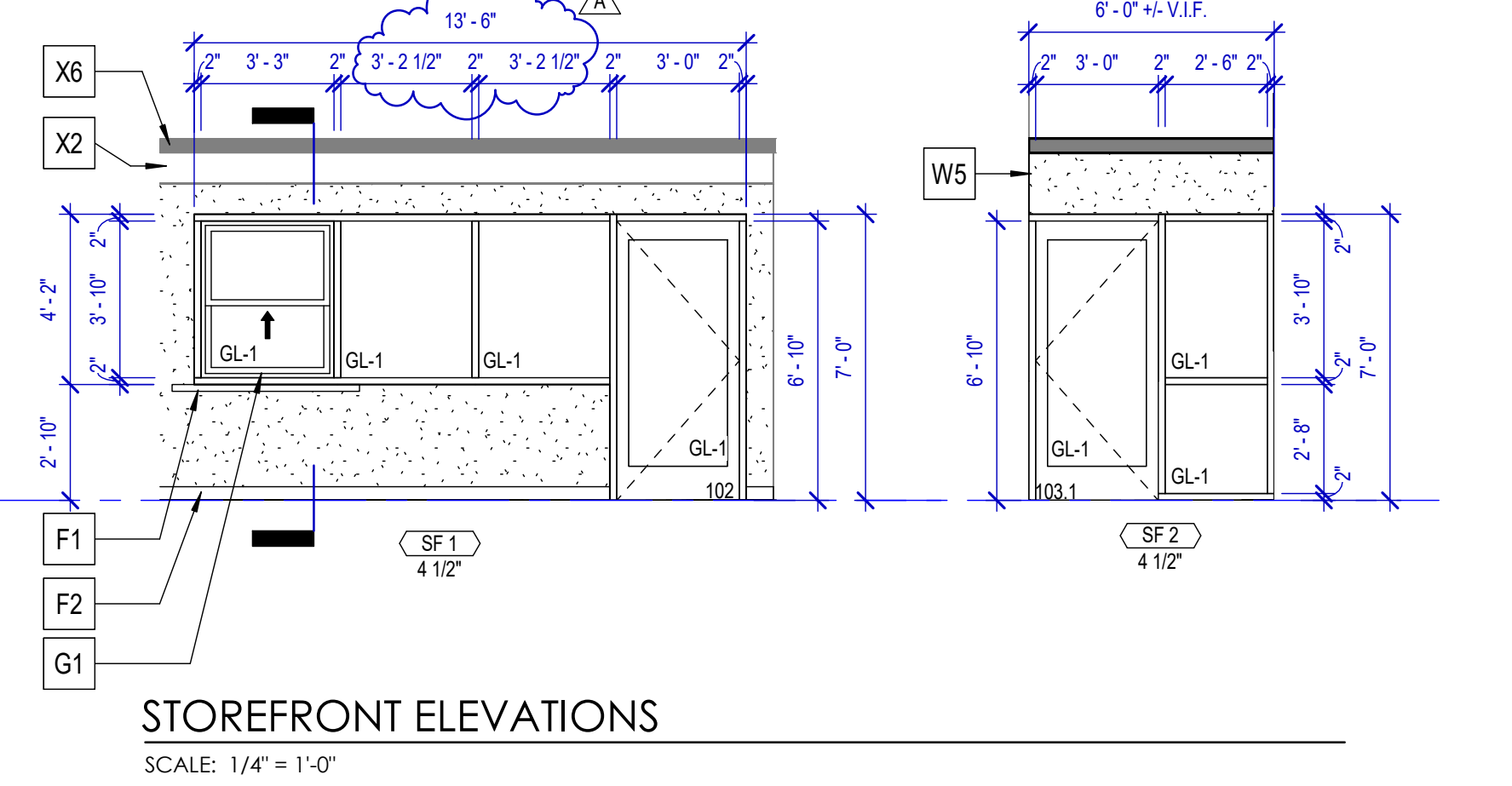
GN-6: GLAZE ALL OPENINGS IN FRAMES, U.N.O.

GN-7: ALL GLAZING SHALL BE SAFETY GLASS, U.N.O.

FRAMED OPENINGS INDICATOR

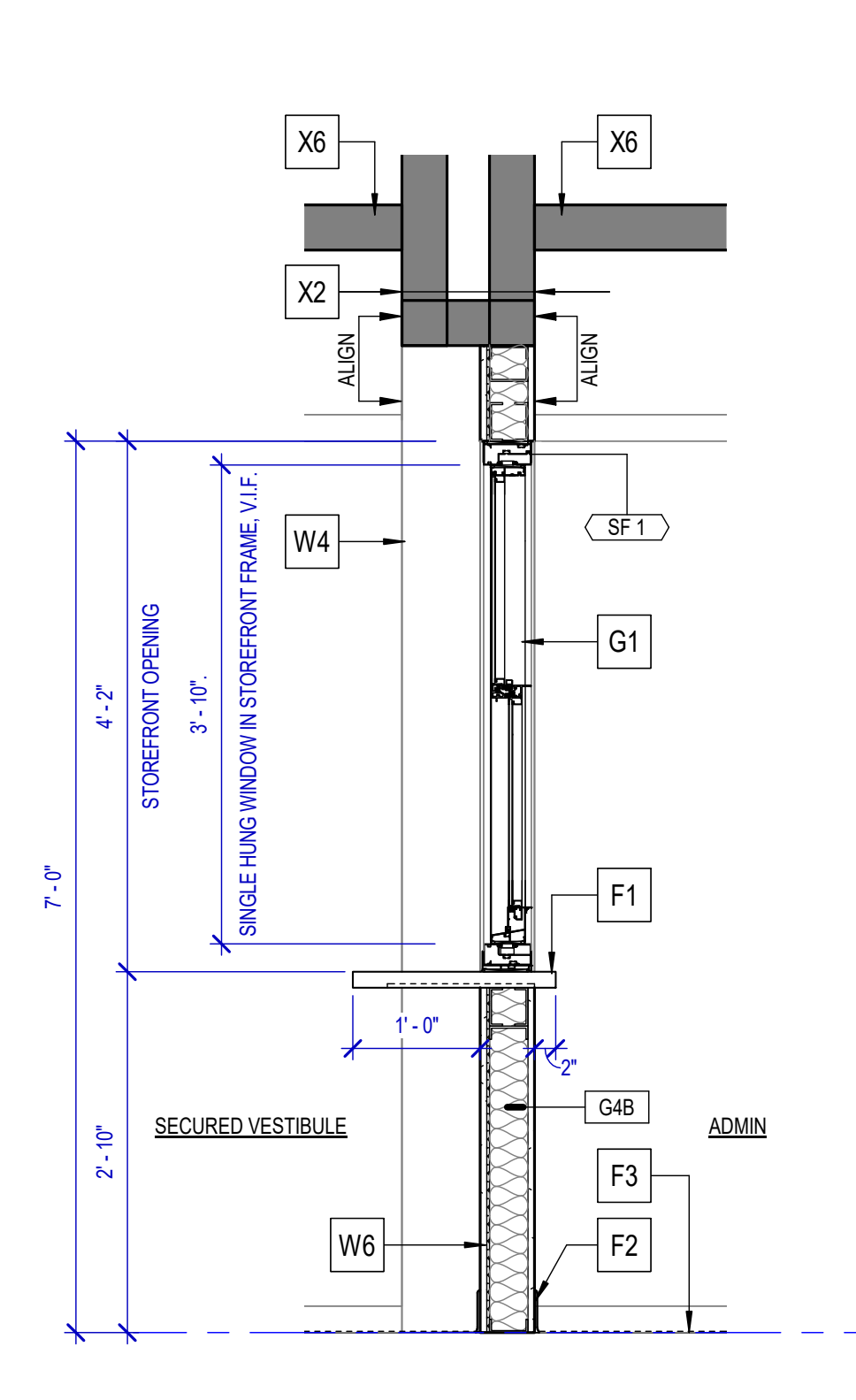
— FRAME TYPE — CW = CURTAIN WALL, LVR = LOUVER, HM = HOLLOW METAL, SF = STOREFRONT (INTERIOR), SX = STOREFRONT (EXTERIOR), W = WINDOW

GL-1 = 1/4" TEMPERED CLEAR W/ SAFETY FILM

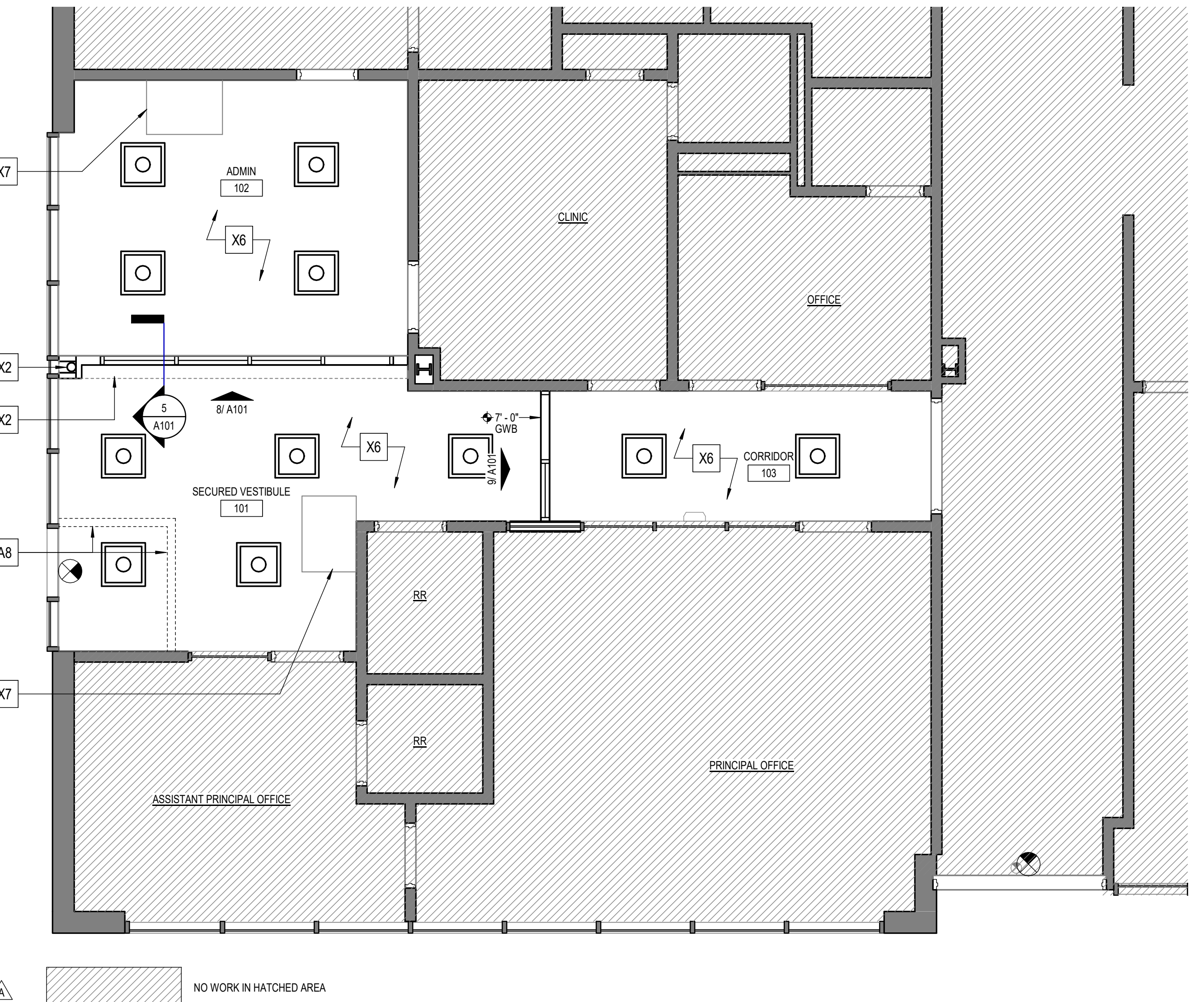


3 PLAN DETAIL A101 SCALE: 1" = 1'-0" REF: A101

2 PLAN DETAIL A101 SCALE: 1" = 1'-0" REF: A101



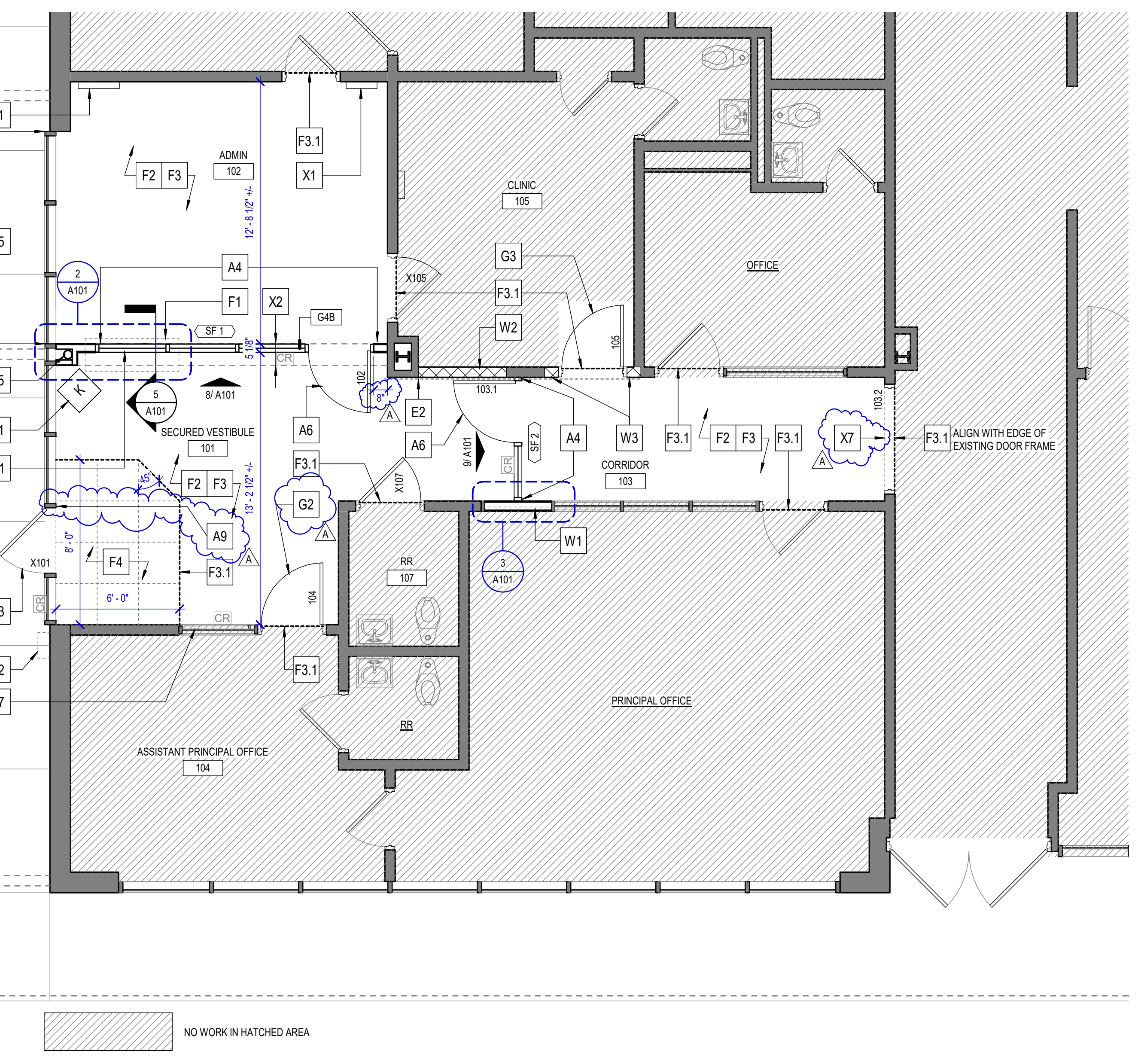
5 SECTION A101 SCALE: 3/4" = 1'-0" REF: A101



4 REFLECTED CEILING PLAN A101 SCALE: 1/4" = 1'-0" REF: A101

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	HEIGHT	REMARKS
FIRST FLOOR							
101	SECURED VESTIBULE	LVT/CP	VINYL	EXIST/GWB	PNT	EXIST	PNT 8'-6" *WALKOFF CARPET
102	ADMIN	LVT	VINYL	EXIST/GWB	PNT	EXIST	PNT 8'-6"
103	CORRIDOR	LVT	VINYL	EXIST/GWB	PNT	EXIST	PNT 8'-6"



1 FLOOR PLAN A101 SCALE: 1/4" = 1'-0" REF: A101

- FLOOR PLAN GENERAL NOTES**
- GN-1: DIMENSION GUIDELINES:
 *NEW CONSTRUCTION = PLAN DIMENSIONS ARE TO FACE OF FRAMING MEMBERS AT GWB, FACE OF MASONRY, AND CENTERLINE OF STRUCTURAL GRID U.N.O.
 *EXISTING CONSTRUCTION = PLAN DIMENSIONS ARE TO FACE OF FINISH OF EXISTING WALLS TO REMAIN U.N.O.
 *PLUMBING FIXTURES = PLAN DIMENSIONS ARE FROM FACE OF FINISH (GWB, TILE, ETC.) TO CENTERLINE OF FIXTURE.
 *"CLEAR" = DIMENSIONS ARE TO FACE OF FINISH (GWB, TILE, ETC).
- GN-2: WHERE PARTITIONS OF DIFFERENT THICKNESSES ABUT OR ADJOIN IN THE SAME LOCATION, THE EXPOSED / FINISH FACES SHALL BE INSTALLED FLUSH / ALIGNED.
- GN-3: SEE LIFE SAFETY PLANS FOR FIRE EXTINGUISHER CABINET LOCATIONS.
- GN-4: ALL EXISTING & NEW WALLS & CEILINGS IN AREA OF WORK ARE TO BE PAINTED TO MATCH EXISTING.
- GN-5: PATCH & REPAIR CEILING WHERE EXISTING 2X4 LIGHT FIXTURES HAVE BEEN REMOVED.

- KEYNOTES**
- A1: NEW LOCATION FOR EXISTING SECURITY KIOSK - SEE ELECTRICAL DRAWINGS FOR POWER & DATA REQUIREMENTS.
- A2: NEW LOCATION FOR EXISTING AI-PHONE - SEE ELECTRICAL DRAWINGS FOR POWER & DATA REQUIREMENTS.
- A3: PROVIDE NEW ACCESS HARDWARE AT EXISTING STOREFRONT DOOR TO REMAIN. SEE DOOR SCHEDULE & SPECS - SEE ELECTRICAL DRAWINGS FOR POWER & DATA REQUIREMENTS.
- A4: PROVIDE SAFETY FILM AT NEW STOREFRONT SYSTEM.
- A5: PROVIDE SAFETY FILM AT EXISTING STOREFRONT AT ADMIN.
- A6: PROVIDE ACCESS HARDWARE AT NEW STOREFRONT DOOR. SEE DOOR SCHEDULE & SPECS - SEE ELECTRICAL DRAWINGS FOR POWER & DATA REQUIREMENTS.
- A7: PROVIDE SAFETY FILM AT EXISTING HOLLOW METAL WINDOW TO REMAIN.
- A8: PATCH & REPAIR GWB CEILING AS REQUIRED WHERE EXISTING STOREFRONT SYSTEM HAS BEEN REMOVED.
- A9: WHERE EXISTING INTERIOR STOREFRONT VESTIBULE HAS BEEN REMOVED, PROVIDE BRAKE METAL ON THE INSIDE OF THE EXTERIOR SF MULLION TO CONCEAL EXISTING ATTACHMENT. BRAKE METAL IS TO MATCH EXISTING SF.
- E1: PROVIDE NEW POWER & DATA FOR EXISTING SECURITY KIOSK - SEE ELECTRICAL DRAWINGS.
- E2: RELOCATE EXISTING PANOUT RACEWAY ABOVE NEW STOREFRONT (SF2) & HM FRAME (105).
- F1: NEW SOLID SURFACE TRANSACTION COUNTER W/ 2" BUILT UP EDGE. PROVIDE CONCEALED FLAT COUNTERTOP BRACKETS AS REQUIRED. ROUTE BOTTOM OF SOLID SURFACE SO THAT BRACKETS SIT FLUSH WITH BOTTOM OF COUNTER SURFACE.
- F2: PROVIDE NEW VINYL WALL BASE THROUGHOUT.
- F3: PROVIDE NEW LVT THROUGHOUT.
- F3.1: PROVIDE VINYL TRANSITION STRIP WHERE NEW LVT MEETS EXISTING CARPET, CONCRETE, OR TILE. TRANSITION STRIP IS TO BE LOCATED AT THE CENTERLINE OF THE DOOR LEAF WHERE APPLICABLE, U.N.O. COORDINATE WITH DEMO PLAN.
- F4: PROVIDE NEW WALK-OFF CARPET TILE. ALIGN WITH LVT JOINTS. PROVIDE VINYL & REDUCERS BETWEEN CARPET TILE & LVT.
- G1: NEW SINGLE HUNG TRANSACTION WINDOW W/ SAFETY FILM IN ALUMINUM STOREFRONT FRAME. SEE STOREFRONT ELEVATIONS.
- G2: PROVIDE NEW DOOR IN EXISTING HOLLOW METAL FRAME. PROVIDE SECURITY FILM IN DOOR LITE.
- G3: PROVIDE NEW DOOR W/ LITE.
- W1: PROVIDE WALL INFILL WHERE GLAZING HAS BEEN REMOVED IN HOLLOW METAL FRAME WINDOW SYSTEM. THIS SECTION ONLY - REST OF HOLLOW METAL FRAME TO REMAIN. INFILL WITH 5/8" GWB ON METAL STUDS AS REQUIRED. GWB IS TO BE FLUSH WITH EXISTING HOLLOW METAL FRAME.
- W2: PROVIDE WALL INFILL IN KIND WHERE MAILBOXES HAVE BEEN REMOVED.
- W3: TOOTH-IN CMU W/ HALF & FULL BLOCKS, GROUT OPEN CELLS.
- W4: GWB WALL BEYOND.
- W5: NEW GWB BULKHEAD ABOVE NEW STOREFRONT SYSTEM, PAINT.
- W6: 1/4" KEVLAR UP TO BOTTOM BOTTOM OF STOREFRONT SYSTEM.
- X1: EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
- X2: EXISTING BULKHEAD ABOVE TO REMAIN.
- X3: EXISTING CANOPY & CANOPY STRUCTURE TO REMAIN.
- X4: EXISTING CONCRETE WALKWAY TO REMAIN.
- X5: EXISTING STRUCTURE TO REMAIN.
- X6: EXISTING GWB CEILING TO REMAIN - PAINT.
- X7: EXISTING FRAME TO REMAIN. PATCH & REPAIR FRAME WITH HINGE FILLER WHERE EXIST. DOOR & HARDWARE HAVE BEEN REMOVED - PAINT TO MATCH FRAME.
- X8: EXISTING CEILING MOUNTED MINI-SPLIT SYSTEM TO REMAIN.

- REFLECTED CEILING PLAN LEGEND**
- EXISTING GWB CEILING - PAINTED
- 2X4 LIGHT FIXTURE, RE. ELEC
- EXIT SIGN, RE. ELEC
- ABOVE FINISH FLOOR (A.F.F.)
- FLOOR PLAN WALL LEGEND**
- EXISTING WALLS TO REMAIN
- NEW WALLS TO BE CONSTRUCTED
- EXISTING DOOR
- NEW DOOR
- MINIMUM DOOR CLEARANCE LEGEND**
- PARTITION WHERE OCCURS - PUSH SIDE: 1'-0" MIN. (TYP.)
- PARTITION WHERE OCCURS - PULL SIDE: 1'-0" MIN. (TYP.)
- PARTITION WHERE OCCURS - HINGE SIDE: 6" (TYP.)
- PARTITION WHERE OCCURS - LATCH SIDE: 6" (TYP.)

- KEY PLAN:**
- AREA OF WORK
- PLAN NORTH
- SITE NORTH
- SHEET NAME: **FLOOR PLAN, RCP, PARTITION TYPES, DETAILS, SF ELEVS & DOOR SCHEDS**
- SHEET NUMBER: **A101**
- ANSI 117.1 2009 / ADA 2010 FIG. 404.2.3.2 (A) (B) WHERE LATCH SIDE OF DOORWAYS ARE LOCATED ADJACENT TO A PERPENDICULAR PARTITION AND NOT OTHERWISE DIMENSIONED:
 *PUSH SIDE - PROVIDE 1'-0" MIN. CLEAR BETWEEN INSIDE EDGE OF FRAME OPENING AND FINISH FACE OF ADJACENT PARTITION.
 *PULL SIDE - PROVIDE 1'-0" MIN. CLEAR BETWEEN INSIDE EDGE OF FRAME OPENING AND FINISH FACE OF ADJACENT PARTITION.
- SCALE: 1/4" = 1'-0"

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RENOVATIONS TO
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ELEMENTARY SCHOOL
SECURED VESTIBULE
 ROANOKE CITY PUBLIC SCHOOLS

VA DOE NO.: #124-42-00-102
 SPECTRUM DESIGN PROJECT NO.: 22082

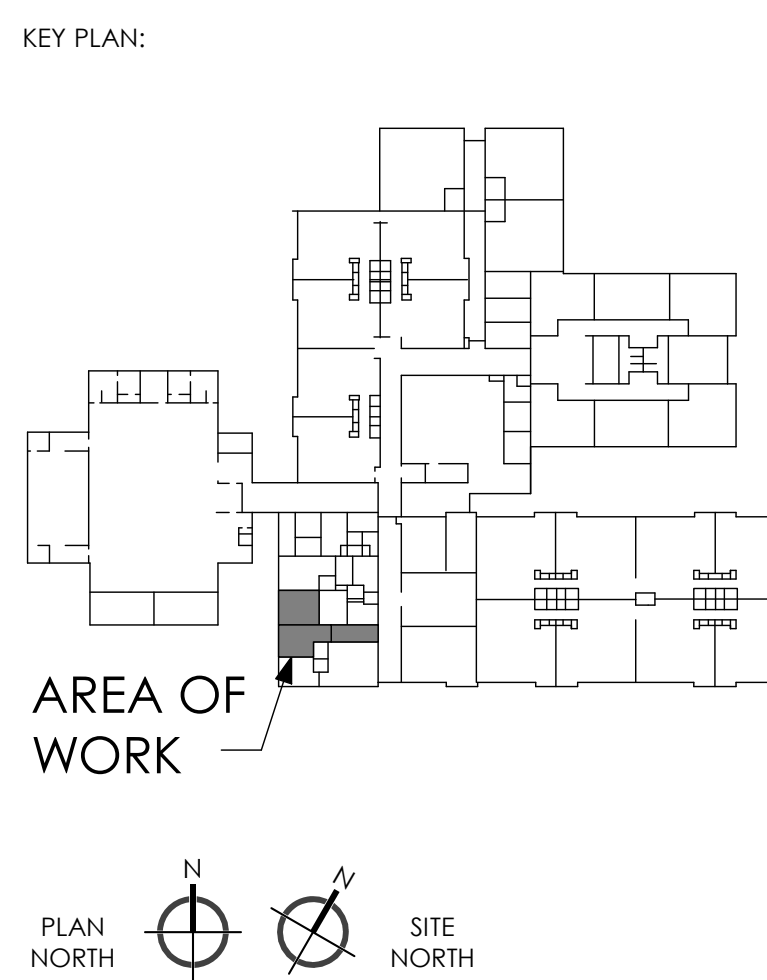


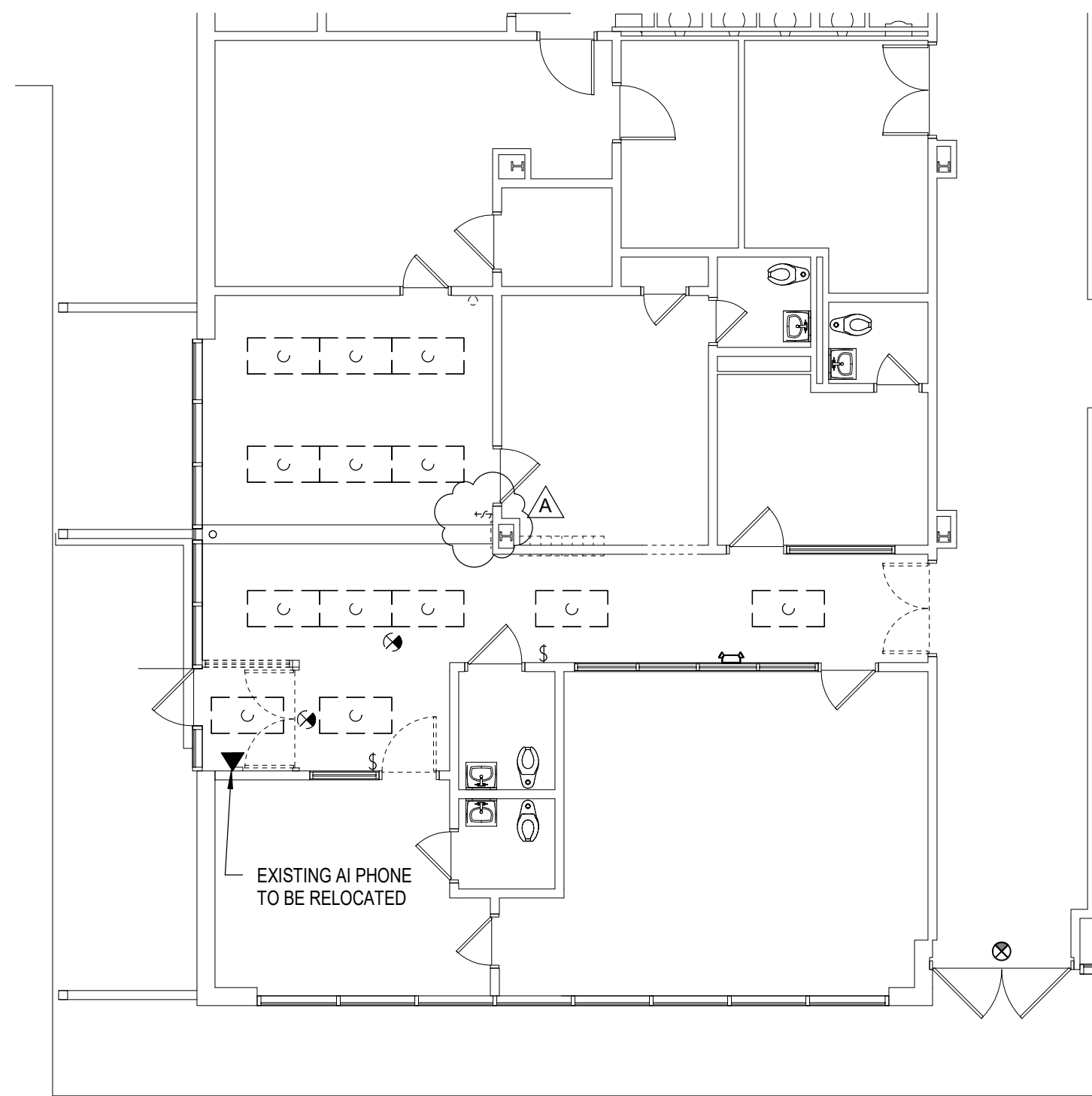
PROJ. MGR.: DCV
 CHECKED BY: DCV
 DRAWN BY: TLW

SHEET ISSUE DATE: **11.04.2022**

PROJECT PHASE: **CONSTRUCTION DOCUMENTS**

SHEET REVISIONS: **REV A 03.03.2023 ADDENDUM #1**



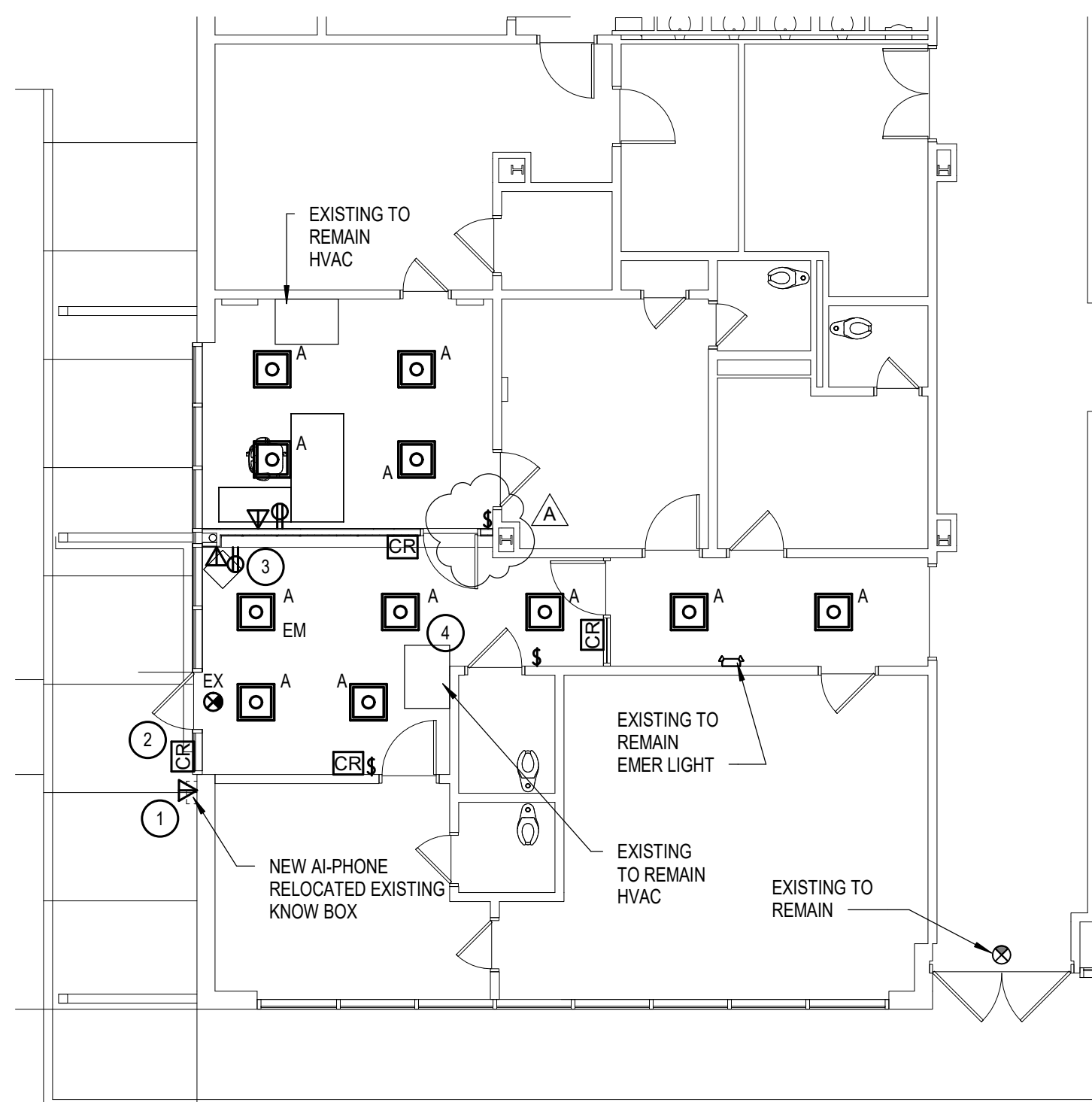


1 DEMOLITION - FLOOR PLAN

E101 SCALE: 1/8" = 1'-0"

PLAN GENERAL NOTES:

- REMOVE EXISTING LIGHTS, EXIT LIGHTS AND SWITCHES. PROTECT EXISTING CIRCUITRY, JUNCTION BOXES, CONDUIT AND WIRING FOR REUSE IF SUITABLE TO FOR RE-CIRCUITING OF NEW LIGHTS. PATCH & REPAIR THE WALL IN-KIND WHERE EXISTING SWITCH IS BEING REMOVED.

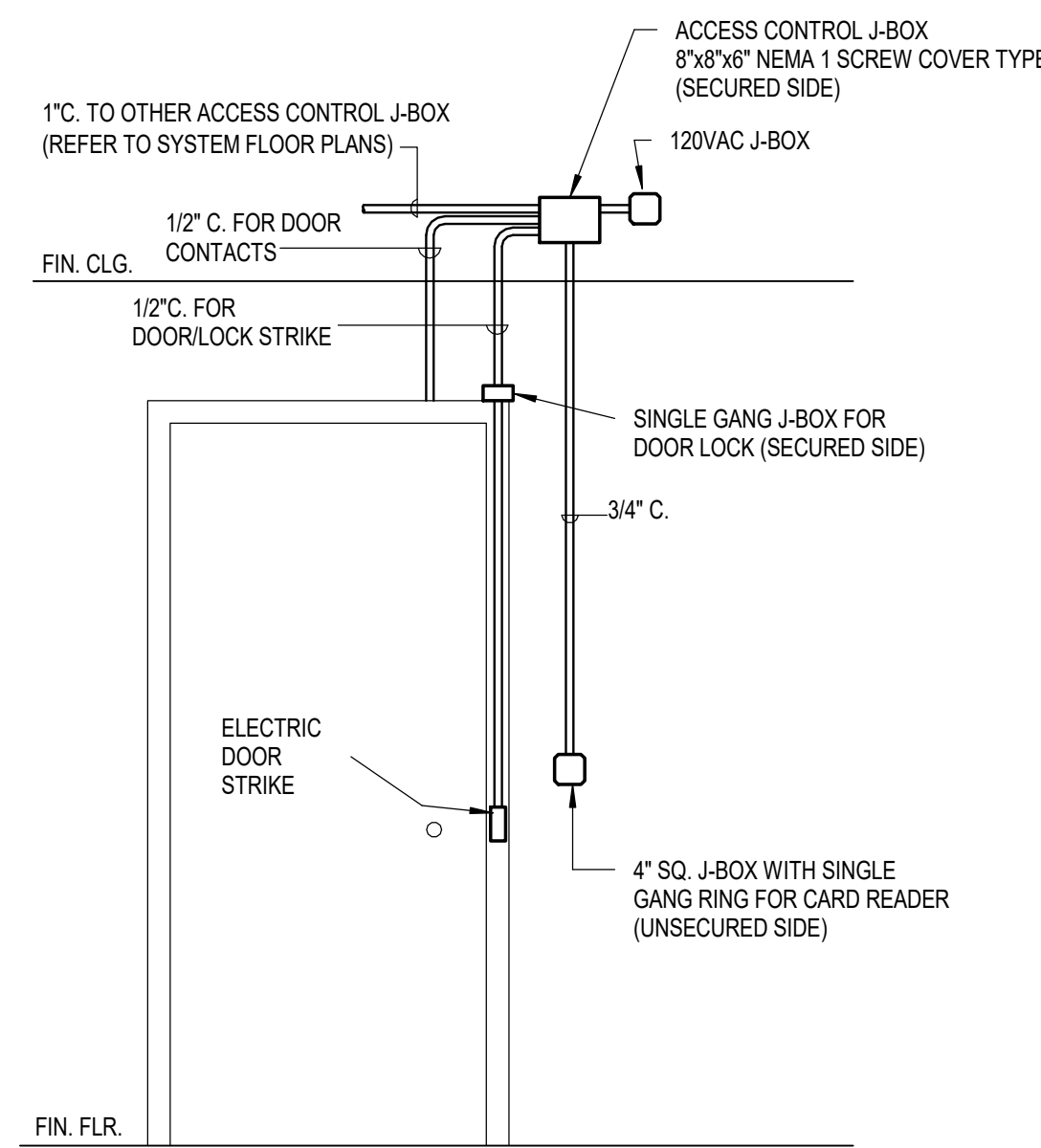


2 FLOOR PLAN

E101 SCALE: 1/8" = 1'-0"

PLAN KEYNOTES:

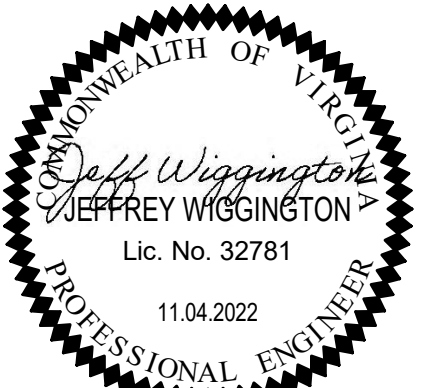
- PROVIDE DATA OUTLET FOR EXISTING AI-PHONE. PROVIDE 1" CONDUIT TO EXISTING SECURITY SYSTEM.
- CARD READER MOUNTS TO DOOR MULLION. PROVIDE CONNECTION TO EXISTING SECURITY SYSTEM. SEE TYPICAL FOR ALL CARD READERS.
- PROVIDE POWER AND DATA OUTLETS FOR NEW SECURITY KIOSK. PROVIDE NEMA 5-20 RECEPTACLE AND DATA OUTLET WITH 2 CAT6A GREEN CABLES APPROX. 200' LONG. CIRCUIT RECEPTACLE TO NEAREST AVAILABLE 20A, 120V PANELBOARD CIRCUIT. COORDINATE WITH ARCHITECTURAL SHEET A101 FOR EXACT LOCATION.
- CIRCUIT LIGHTS WITH EXISTING LIGHTING CIRCUITRY.



3 SYSTEM

E101 SCALE: 6" = 1'-0"

LEGEND/SYMBOLS - SECTION A		GENERAL ELECTRICAL NOTES
POWER		<ol style="list-style-type: none"> INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE, UNIFORM STATEWIDE BUILDING CODE, AND MANDATES OF THE LOCAL BUILDING OFFICIALS. THE GENERAL ARRANGEMENT AND LOCATIONS OF LIGHT FIXTURES, OUTLETS AND EQUIPMENT IS INDICATED BY THE DRAWINGS AND SHALL BE INSTALLED IN ACCORDANCE THEREWITH, WITH THE EXCEPTION OF SUCH CHANGES WHICH MAY BE NECESSARY TO COORDINATE WITH EXISTING CONDITIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE WORK WITH INSTALLATION OF OTHER CONTRACTORS, WITH EXISTING CONDITIONS, AND WITH OWNER SUPPLIED EQUIPMENT AND FURNISHINGS. INSTALLATION OF LIGHT FIXTURES SHALL BE COORDINATED WITH CEILING LAYOUT, STRUCTURAL MEMBERS AND ADJACENT FINISHES. MAJOR ITEMS ARE SHOWN ON THE PROJECT PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INCIDENTAL ITEMS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM. ELECTRICAL WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AS TO SCHEDULING, DIMENSIONING AND LOCATION OF EQUIPMENT. COORDINATE WITH ALL SECTIONS OF THE CONTRACT DOCUMENT TO PROVIDE PROPER ELECTRICAL POWER AND CONTROL CONNECTIONS FOR ARCHITECTURAL EQUIPMENT SUCH AS MOTORIZED DOORS, PROJECTION SCREENS, TELEVISIONS, TELEVISION MONITORS. COORDINATE WITH THE ARCHITECT/ENGINEER FOR LOCATIONS OF CONTROLLERS. WIRE SHALL BE COPPER OF MINIMUM OF 12 GAUGE SIZE AND SHALL BE TYPE THW, THWN, THHN, AND STRANDED IF NUMBER 8 AWG OR LARGER. WIRE SHALL BE RATED FOR 75 DEGREE MINIMUM. AND CONDUCTOR SIZES SHALL BE SELECTED BASED UPON 75 DEGREE WIRE. PROVIDE OVERSIZED WIRE FOR LONG CIRCUIT RUNS TO MAINTAIN VOLTAGE DROP WITHIN 3% AT FULL LOAD. 120 VOLT EXAMPLE: FOR 20 AMP CIRCUIT WITH 13 AMP LOAD, PROVIDE #12 WIRE UP TO 70' LENGTH, PROVIDE #10 WIRE FROM 71 TO 115' LENGTH, PROVIDE #8 WIRE FROM 116 TO 155' LENGTH, AND PROVIDE #6 WIRE FOR BRANCH CIRCUITS OVER 185'. ALL WIRING SHALL BE IN CONDUIT. RIGID METAL WHERE EXPOSED OUTDOORS AND BELOW SWITCH HEIGHT OR SUBJECT TO DAMAGE; MC CABLE WHERE HIDDEN IN WALLS. PVC SCHEDULE 40 WHERE BELOW GRADE; FLEXIBLE METALLIC FOR EQUIPMENT CONNECTIONS AND EMT OTHERWISE. A SEPARATE GREEN INSULATED GROUND WIRE SHALL BE INSTALLED IN ALL CONDUITS. ALL CONDUIT SHALL BE NEATLY RUN AND SUPPORTED PER NATIONAL ELECTRIC CODE. IN FINISHED AREAS WHERE EXPOSED STRUCTURE AND BEAMS EXIST FOR ARCHITECTURAL EFFECT, CONDUITS WHICH CANNOT BE CONCEALED SHALL BE ROUTED CAREFULLY FOR BEST CONCEALMENT AND FOR ALIGNMENT WITH ARCHITECTURAL FEATURES. ALL CONDUIT TO BE RUN CONCEALED WHERE POSSIBLE IN FINISHED SPACES. EXPOSED CONDUIT IS ACCEPTABLE IN MECHANICAL ROOMS AND JANITOR CLOSETS. PVC CONDUIT IS NOT PERMITTED IN AIR PLENUM OR EXPOSED INSIDE THE BUILDING. WHERE UNDERGROUND PVC CONDUITS ENTER THE BUILDING, CONCRETE ENCASUREMENT OR METAL SHROUD MAY BE USED TO PROTECT THE PVC FROM POSSIBLE DAMAGE. PROVIDE WEATHERPROOF SEALS ON ALL CONDUIT AND SLEEVE PENETRATIONS INTO THE BUILDING. SOME ELECTRICAL SYSTEM CABLING, SUCH AS FIRE ALARM, SOUND, TELEVISION, DATA OR TELEPHONE MAY BE PERMITTED ABOVE ACCESSIBLE CEILING WITHOUT CONDUIT. HOWEVER, SUCH CABLING IS NOT PERMITTED TO BE EXPOSED. PROVIDE PARTIAL CONDUIT SYSTEM AS NEEDED TO PROTECT AND CONCEAL THE WIRING FROM VIEW. ANY LOCATIONS WHERE CABLES PASS ABOVE NON-ACCESSIBLE CEILINGS OR THROUGH FIRE RATED PARTITIONS SHALL UTILIZE CONDUIT AND SLEEVES WITH SEALANT TO RESTORE THE FIRE RATING OF THE PARTITION. ALL CABLING RUN IN PLENUM AREAS ABOVE CEILING ARE TO BE PLENUM RATED UNLESS OTHERWISE APPROVED.
⊕	DUPLIX RECEPTACLE	
DATA COMMUNICATIONS		
◀	DATA WALL OUTLET	
◀	AI PHONE WALL OUTLET	
SECURITY/ACCESS CONTROL		
CR	CARD READER	
LIGHT FIXTURES		
□	2X2 LIGHT FIXTURE	
□	2X4 LIGHT FIXTURE	
☼	EXIT LIGHT - SOLID FACE IS ILLUMINATED FACE	
☼	EMERGENCY WALL PACK WITH BUG EYES	
SWITCH AND CONTROL		
⚡	SINGLE POLE LIGHT SWITCH	
①	NUMBERED CONSTRUCTION NOTES	
①	NUMBERED DEMOLITION NOTES	
GENERAL DEMOLITION NOTES		
<ol style="list-style-type: none"> THE ELECTRICAL DRAWINGS PREPARED BY SPECTRUM DESIGN ARE BASED ON NON-INVASIVE VISUAL INSPECTION PRIOR TO ANY DEMOLITION. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THAT CONDITIONS IN THE FIELD ARE AS SHOWN IN THE DOCUMENTS. CONTRACTOR SHALL NOTIFY SPECTRUM DESIGN IMMEDIATELY IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DOCUMENTS. JUNCTION BOXES, WIRE, CONDUIT, AND ALL APPURTENANCES ASSOCIATED WITH DEVICES SCHEDULED TO BE REMOVED MUST BE REMOVED BACK TO LAST ACTIVE JUNCTION BOX OR PANELBOARD. UNLESS ENSURE THAT THE CIRCUIT REMAINS ACTIVE FOR DEVICES TO REMAIN IF OTHER DEVICES ON THAT CIRCUIT ARE REMOVED BETWEEN THEM AND THE BRANCH CIRCUIT PANELBOARD. IF CIRCUIT BREAKER IS SPARE, SHUT OFF BREAKER AND REVISE CIRCUIT DIRECTORY. EXERCISE CARE IN REMOVING DEMOLITION ITEMS AND REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION AND EQUIPMENT TO REMAIN. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, DO NOT DISTURB. IMMEDIATELY NOTIFY THE ARCHITECT AND SUSPECTED HAZARDOUS, OR OTHERWISE REGULATED, MATERIALS ENCOUNTERED DURING DEMOLITION SHOULD BE HANDLED AND TRANSPORTED IN ACCORDANCE WITH APPLICABLE REGULATIONS OR RECYCLED OR REUSED IF APPROPRIATE. THESE MATERIALS SHOULD BE HANDLED, DISPOSED OF OR RECYCLED ACCORDING TO ALL APPROPRIATE LOCAL, STATE AND FEDERAL GUIDELINES FOR SUCH MATERIALS. THESE MATERIALS CAN INCLUDE, BUT ARE NOT LIMITED TO, PCB-CONTAINING LIGHT BALLASTS, FLUORESCENT LIGHT TUBES, POTENTIAL CFC-CONTAINING MATERIALS, POTENTIAL RADIOACTIVE MATERIALS AND VARIOUS TYPES OF BATTERIES. ALL DEVICES AND FIXTURES THAT ARE REMOVED DURING DEMOLITION (AND NOT TO BE RELOCATED) SHALL BE BECOME THE PROPERTY OF THE CONTRACTOR AND IS TO BE REMOVED COMPLETELY FROM THE PROJECT SITE. FOR DEVICES AND EQUIPMENT TO BE REMOVED AND NOT REINSTALLED, JUNCTION BOXES, WIRE, CONDUIT AND ASSOCIATED APPURTENANCES SHALL BE REMOVED. ALL SURFACES ARE TO BE PATCHED/PAINTED BY CONTRACTOR TO MATCH ADJACENT SURFACES. EXISTING CONDUITS TO REMAIN NOT ASSOCIATED WHICH CONFLICT WITH NEW BUILDING ELEMENTS, INCLUDING BUT NOT LIMITED TO MECHANICAL DUCTWORK, PIPING, EQUIPMENT, OR DROP CEILINGS SHALL BE REWORKED TO COORDINATE AS NEEDED. PROTECT EXISTING ELECTRICAL PANELS, MOTOR CONTROLLERS, AND OTHER ELECTRICAL EQUIPMENT FROM PHYSICAL DAMAGE AND CONSTRUCTION DUST. ALL EXISTING CONDUITS AND WIRING THAT WILL NOT BE REUSED SHALL BE REMOVED WHERE THEY WILL BE EXPOSED UPON COMPLETION OF NEW WORK. EXISTING CONDUIT TO REMAIN CONCEALED IN WALLS SHALL BE ABANDONED. CONDUIT TO REMAIN BELOW FLOOR SLAB SHALL BE CUT OFF ONE INCH BELOW FLOOR AND GROUTED FLUSH. ALL EXISTING WIRING IN CONDUITS TO BE ABANDONED SHALL BE DISCONNECTED FROM POWER SOURCE AND REMOVED. 		



LIGHTING FIXTURE SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL	LAMP	COLOR TEMPERATURE	WATTS	MOUNTING TYPE	COMMENTS
A	2 X 2 SHALLOW SURFACE MOUNT WITH RIBBED ACRYLIC ROUNDED SHIELDING	LITHONIA	PTS 2 2 L38 35 RA UN OPTIONS (EM/10W ONLY WHERE EM INDICATED)	LED	3500 K	31 W	SURFACE CEILING	
EX	UNIVERSAL MOUNT EXIT SIGN	LITHONIA LIGHTING	EDG_R W 1 R EL	LED			SURFACE CEILING	

